

**COUNTIES OF WARREN AND WASHINGTON
INDUSTRIAL DEVELOPMENT AGENCY**

5 Warren Street, Suite 210, Glens Falls, NY 12801

Tel. (518) 792-1312

Agenda for June 20, 2023 @ 4:00 PM

**Washington County Municipal Building, 383 Broadway, Bldg B in Fort Edward
in the Supervisor Classroom**

1. Call to Order, Roll Call and Quorum Confirmation
2. Approval of Minutes of the May 17, 2023 IDA Board Meeting
3. Treasurer
 - Accounts Payable Approval
 - YTD Financial Report
4. Reports of Committees
 - Canalside Master Plan Update
 - Authorization of LaBella's Phase B
 - Gate replacement

Canalside Projects, Tenant Activity
5. Staff Report
6. Unfinished Business
 - New Leaf Lease Update
 - Website Update - Logo & Messaging
 - MOU Bridge
7. New Business
- 8 Educational Moment
- 9 Other
- 10 Public Comments
- 11 Executive Session
- 12 Adjourn

**COUNTIES OF WARREN AND WASHINGTON
INDUSTRIAL DEVELOPMENT AGENCY**

Current Accounts Payable

FitzGerald Morris Baker Firth, P.C.

P. Hoffman Realty

Office Rent -June 2023 \$1,000.00

* **Spectrum**

Monthly Phone and Internet Service \$180.08

* **Payroll**

Net Payroll - May Barton \$6,908.72

Net Payroll - May Weaver \$2,190.84

* **CDPHP**

June Employee Health Insurance - Weaver \$622.46

* **UMR COBRA Administration**

April Employee Health Insurance - Barton \$1,815.69

* **First National Bank of Omaha**

credit card charges-Chuck \$933.75

* **National Grid**

Traffic Light Electricity \$33.04

Pumpstation

substation \$1,447.24

* **EFTPS**

May federal payroll tax payment \$2,923.90

Mannix Marketing

Annual Domain Gmail Fee \$279.27

LaBella

May Canalside Engineering Services (reimbursable) \$32,958.13

* **National Bank of Omaha**

Credit Card Charges Office \$644.40

CBRE Upstate NY

Commssion payment 2 of 4 \$6,912.00

Village of Fort Edward

Canalside Water Q1 (shared expense) \$125.00

Orbitalfire

Security Services \$57.68

* **Staples**

Office Supplies \$23.46

ARCC

Employee Vision Ins. Q3 \$16.20

StoredTech

Secuirty check \$123.75

Total \$59,195.61

* notates payment has already been made

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INDUSTRIAL DEVELOPMENT AGENCY**

5 Warren Street, Suite 210

Glens Falls, New York 12801

Tel. (518) 792-1312

The May Board Meeting for Warren Washington Industrial Development Agency was held on Wednesday, May 17, 2023 at the Lake George Town Hall, 20 Old Post Road in Lake George at 4:29 pm. The following were:

PRESENT:	Dave O'Brien	Chair
	Mike Wild	Member
	Juan Gonzales	Member
	Ginny Sullivan	Member
	Tim Robinson	Sec/Treasurer
	Brian Campbell	Member
	Mary King	Member
	Nick Caimano	Member

ABSENT:	Dan Bruno	Park Chair
	Craig Leggett	Vice Chair

The following were also present:

	Kara Lais, Esq.	FitzGerald Morris Baker Firth, PC
	Chuck Barton	CEO
	Andrew Brodie	Yankee Marine Group, LLC
	Robin Cooper	Albany Business Review
	A. Joe Scott, Esq.	Hodgson Russ, LLP
<i>Minutes were taken by:</i>	Alie Weaver	Office Administrator

Attendance was taken by roll call and quorum was confirmed.

April 2023 Minutes: Mr. Gonzales made a motion to approve the April 2023 Board Meeting Minutes and Mrs. Sullivan seconded. All voted in favor by voice vote.

Mr. Campbell made a motion to approve the May 3rd Special Meeting Minutes and Mr. Caimano seconded with all voting in favor by voice vote.

Accounts Payables and Financial Analysis: Mr. Robinson reviewed the May payables, balance sheet and annual comparison income statement.

Mr. O'Brien stated that CHPE has signed a new lease agreement adding six acres, which increases their lease payment by \$9,600.

Mr. Campbell made a motion to approve the May payables and financial reports and Mr. Gonzales seconded. All voted in favor by roll call vote.

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Yankee Marine Project – Immediately following the adjournment of the Yankee Marine public hearing, Mr. O'Brien asked Mr. Brodie what his plans are should the IDA not approve his project for assistance.

Mr. Brodie stated that he would continue to use his property as shrink-wrapped outside boat storage, limiting any boat maintenance or repairs from November through April. He noted that the cost of this project has risen 40% from the time he purchased the land in comparison to the current material and labor costs as well as rising interest rates.

Discussion ensued on incremental storage capacity and how it reflects the cost benefit analysis and Mr. Brodie's ten-year projection, specifically concerning sales tax.

Mr. Barton gave an estimated determination of \$919,000 in generated sales tax from this project.

Mr. O'Brien noted that the applicable taxing jurisdictions were notified of Yankee Marine Group's application and of the meetings that included discussion of this project.

Mr. Campbell made a motion to approve the Yankee Marine Project resolution and Mr. Robinson seconded. All voted in favor by roll call vote.

Master Plan Update – Mr. Barton stated that public notifications have started for NEPA including tribal, wetlands, NYS DEC species, historical preservation, and archeological consultations. He noted that most major tasks are on schedule but there are pending issues that could disrupt the schedule.

Staff Report – Mr. Barton listed his recent activities, which included:

- Held two bank meetings to discuss IDA initiatives, including bonding opportunities
- met with the Executive Director of the Greenwich Chamber of Commerce
- toured various manufacturing facilities in the Greater Greenwich area
- attended the Greater Greenwich Annual Dinner
- provided a tour of Canalside to an interested party
- toured the former Morcon site in White Creek
- met with a potential customer
- met with SMS Rail and WCC to discuss rail operations
- attended the Lake George Workforce Housing Committee meeting
- presented at the Southern Adirondack Realtors Association
- ongoing meetings with two future applicants

Mr. Wild noted the large number of short-term rentals around Lake George having a negative impact on workforce housing and suggested incentivizing to encourage workforce housing.

Mr. Barton stated that the WWIDA supports workforce housing projects and encouraged Mr. Wild to send potential applicants to the WWIDA for assistance.

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New Leaf Lease Update – Mr. Barton stated that the lease agreement is ready to be signed with New Leaf Energy. He noted that this is to lease land at the Airport Industrial Park and that no investment tax incentives are involved.

Mr. O'Brien stated that a resolution was included in the meeting packets that proposes a variance in the Phase II Covenants and Restrictions to include language for authorized solar use.

Mr. Campbell made a motion to approve this resolution and Mr. Wild seconded with all voting in favor by voice vote.

Website Update Logo and Messaging – Mr. Barton stated that the new WWIDA logo has been chosen and provided in the meeting packets. The website has been mapped out and data is currently being populated for the web developers.

CVE Resolution – Mr. O'Brien stated that a resolution was included in the meeting packets to rescind the CVE Solar Resolution No. 22-35 from December 12, 2022, which had approved financial assistance.

Mr. Gonzales made a motion to approve this resolution and Mr. Campbell seconded with all voting in favor by roll call vote.

Other - Mr. Wild suggested that the Board consider temporary withdrawal of mortgage tax exemptions in an effort to help defray the cost of Warren County's merger with CDTA. He noted that state statute dictates ¼ of 1% of mortgage tax proceeds go to the regional transportation authority once merged.

Ms. Lais stated that the IDA may need to ensure this ¼ gets paid regardless of mortgage tax exemption being granted. She will contact Warren County Counsel for clarification and report back to the IDA.

Public Comments – There were no public comments.

Mr. O'Brien stated that Mr. Geraghty has accepted Mr. Wild's resignation from WWIDA, and this is his last meeting. He thanked Mr. Wild for his efforts and contributions over the years.

Adjournment – There being no further business to discuss, Mr. O'Brien adjourned the May IDA Board meeting at 5:26 pm.

06/12/23

Profit & Loss YTD Comparison
 January through May 2023

	<u>Jan - May 23</u>	<u>Jan - May 22</u>	<u>\$ Change</u>
Ordinary Income/Expense			
Income			
Non-Operating Revenue	150,043	10,507,166	-10,357,124
Operating Revenue	221,259	307,845	-86,586
Total Income	<u>371,302</u>	<u>10,815,012</u>	<u>-10,443,710</u>
Gross Profit	371,302	10,815,012	-10,443,710
Expense			
Nonoperating Expenses	10,717	10,937	-220
Operating Expenses	154,890	137,807	17,083
10000 · Canalside Energy Park	85,555	18,475	67,080
66900 · Reconciliation Discrepancies	<u>-0</u>	<u>-0</u>	<u>-0</u>
Total Expense	<u>251,162</u>	<u>167,220</u>	<u>83,943</u>
Net Ordinary Income	<u>120,140</u>	<u>10,647,792</u>	<u>-10,527,652</u>
Net Income	<u><u>120,140</u></u>	<u><u>10,647,792</u></u>	<u><u>-10,527,652</u></u>

Balance Sheet Prev Year Comparison

As of May 31, 2023

	May 31, 23	May 31, 22	\$ Change
ASSETS			
Current Assets			
Checking/Savings			
GFNB debit card	0	0	0
200 · Cash			
- ICS Money Market Acct	1,300,000	0	1,300,000
Checking - NOW-10459405	252,687	620,906	-368,218
Escrow - PILOTS 3528097	12,310	12,086	223
Total 200 · Cash	1,564,997	632,992	932,005
220 · Checking GFNB 0736	0	0	0
250 · Certificates of Deposit			
251 · CD - GFNB - #842819	0	101,837	-101,837
253 · CD - GFNB - #842821	0	255,184	-255,184
Total 250 · Certificates of Deposit	0	357,021	-357,021
Total Checking/Savings	1,564,997	990,013	574,984
Accounts Receivable			
379 · Accounts Receivable NBRC	26,632	0	26,632
379B · Accounts Receivable HUD	2,000	0	2,000
380A · Accounts Receivable	70,111	33,360	36,751
380B · Accounts Receivable - PILOTS	0	-170	170
Total Accounts Receivable	98,742	33,190	65,552
Other Current Assets			
210 · Petty Cash	55	143	-88
381 · Insurance Receivable	0	2,750	-2,750
480 · Prepaid Insurance	4,265	4,265	0
Total Other Current Assets	4,320	7,158	-2,838
Total Current Assets	1,668,059	1,030,361	637,699
Fixed Assets			
101 · Land	1,126,948	1,126,948	0
102 · Land-Canalside Energy Park	10,500,000	10,500,000	0
104 · Machinery and Equipment			
Furniture and Equipment	357	357	0
Office Equipment	1,614	1,614	0
Signs & Mailboxes	7,584	7,584	0
104 · Machinery and Equipment - Other	-357	-357	0
Total 104 · Machinery and Equipment	9,198	9,198	0
114 · Accumulated Depreciation	-9,198	-9,198	0
Total Fixed Assets	11,626,948	11,626,948	0
TOTAL ASSETS	13,295,008	12,657,309	637,699
LIABILITIES & EQUITY			
Liabilities			
Current Liabilities			
Accounts Payable			
600 · Accounts Payable	5,986	17,920	-11,934
Total Accounts Payable	5,986	17,920	-11,934
Other Current Liabilities			
602 · Payroll Liabilities			
Federal W/H	1,626	623	1,003
Medicare - Employee	417	76	341
Social Security - Employee	1,092	440	653
State W/H	1,046	789	257

Balance Sheet Prev Year Comparison
As of May 31, 2023

	May 31, 23	May 31, 22	\$ Change
602 · Payroll Liabilities - Other	576	576	0
Total 602 · Payroll Liabilities	4,758	2,504	2,254
615 · Customers' Deposit	16,537	1,500	15,037
631 · Due to other governments	15,841	15,340	501
Total Other Current Liabilities	37,136	19,343	17,792
Total Current Liabilities	43,122	37,263	5,858
Total Liabilities	43,122	37,263	5,858
Equity			
924 · Net Assets - Unrestricted	13,131,746	1,972,253	11,159,493
Net Income	120,140	10,647,792	-10,527,652
Total Equity	13,251,886	12,620,046	631,840
TOTAL LIABILITIES & EQUITY	13,295,008	12,657,309	637,699

WWIDA
Profit & Loss Prev Year Comparison
January through May 2023

	Jan - May 23	Jan - May 22	% Change
Ordinary Income/Expense			
Income			
Non-Operating Revenue			
Donations - Land	0	10,500,000	-100%
Investment Earnings			
2401 · Interest Income	0	-0	100%
2401.1 · Interest Income CDs	43	72	-41%
2401 · Interest Income - Other	43	72	-41%
Total 2401 · Interest Income	86	144	-41%
Total Investment Earnings	43	72	-41%
Other nonoperating revenue			
Transfer from CDC	150,000	0	100%
Total Other nonoperating revenue	150,000	0	100%
10001 · Canalside Sale/Misc Income	0	2,094	-100%
2675 · Lot Sales	0	5,000	-100%
Sale of Land	0	5,000	-100%
Total 2675 · Lot Sales	0	10,000	-100%
Total Non-Operating Revenue	150,043	10,507,166	-99%
Operating Revenue			
Canalside Lease Income	162,084	0	100%
Charges for Services			
2116.1 · Project Fees - Existing	13,865	7,129	95%
2116.2 · Project Fees - New	2,125	207,920	-99%
2116.4 · Application Fees	3,000	4,500	-33%
2116.5 · Rail Usage Fees	25,269	0	100%
2770 · Project - Legal Reimbursable	5,463	1,700	221%
Total Charges for Services	49,723	221,248	-78%
Grant Revenue - National Grid	0	86,597	-100%
Grant Revenue - NBRC	9,453	0	100%
Total Operating Revenue	221,259	307,845	-28%
Total Income	371,302	10,815,012	-97%
Gross Profit	371,302	10,815,012	-97%
Expense			
Nonoperating Expenses			
107 · Airport Industrial Park			

WWIDA Profit & Loss Prev Year Comparison January through May 2023

	Jan - May 23	Jan - May 22	% Change
Property/Sewer/Water Taxes AIP	10,717	10,937	-2%
Total 107 - Airport Industrial Park	10,717	10,937	-2%
Total Nonoperating Expenses	10,717	10,937	-2%
Operating Expenses			
Other operating expenses			
Interest	68	0	100%
Miscellaneous	0	-0	100%
1910.4 - Insurance			
Liability/Commercial Insurance	9,338	0	100%
Public Officials Liability	1,719	1,719	0%
Workers' Comp Insurance	60	89	-32%
Total 1910.4 - Insurance	11,118	1,808	515%
2675.1 - Sale of Lots			
Land conveyance	0	386	-100%
Total 2675.1 - Sale of Lots	0	386	-100%
6460.4 - Contractual Services			
Advertising/Marketing	17,608	0	100%
Computer & Website Related	2,760	1,098	151%
Dues	1,753	1,255	40%
Rent	5,000	5,000	0%
Subscriptions	575	598	-4%
Telephone and Internet	1,050	1,040	1%
6460.4 - Contractual Services - Other	0	2,417	-100%
Total 6460.4 - Contractual Services	28,745	11,409	152%
Total Other operating expenses	39,930	13,603	194%
Professional service contracts			
Accounting	10,700	11,300	-5%
Engineering-Phase II & Welds	4,285	0	100%
Engineering - Phase I & General	0	11,175	-100%
Legal			
Fees for Project	12,236	53,317	-77%
General	3,168	0	100%
Total Legal	15,404	53,317	-71%
Total Professional service contracts	30,389	75,792	-60%

WWIDA Profit & Loss Prev Year Comparison January through May 2023

	Jan - May 23	Jan - May 22	% Change
6460.45 · Staff Payroll - WWIDA	64,773	41,824	55%
6460.5 · Supplies and Materials			
Misc Office Expenses			
Bank Fees	47	102	-55%
Misc Office Expenses - Other	0	20	-100%
Total Misc Office Expenses	47	122	-62%
Office Supplies	479	1,049	-54%
Postage	771	277	178%
Total 6460.5 · Supplies and Materials	1,297	1,449	-11%
9000 · Employee Benefits			
Employee Benefit - Retirement	-0	0	-100%
Medicare - Company	984	659	49%
Social Security - Company	4,207	2,696	56%
Unemployment Insurance	449	335	34%
VEHICLE ALLOWANCE	0	1,250	-100%
6460.47 · Staff Telephone Allowance	0	200	-100%
9010 · Employee Benefits/Health Ins.	12,861	0	100%
Total 9000 · Employee Benefits	18,502	5,140	260%
Operating Expenses - Other	0	0	0%
Total Operating Expenses	154,890	137,807	12%
10000 · Canalside Energy Park			
10100 · Canalside Expenses			
10110 · Realtor Fees	13,824	0	100%
10115 · Insurance	2,974	9,129	-67%
10125 · Land & Building Maintenance	40,391	7,145	465%
10130 · Special District Taxes	11,962	0	100%
10135 · Gas & Electric	13,582	2,201	517%
10140 · Legal	2,822	0	100%
10145 · Engineering	0	0	0%
Total 10100 · Canalside Expenses	85,555	18,475	363%
Total 10000 · Canalside Energy Park	85,555	18,475	363%
66900 · Reconciliation Discrepancies	-0	-0	-700%
Total Expense	251,162	167,220	50%
Net Ordinary Income	120,140	10,647,792	-99%

WWIDA
Profit & Loss Prev Year Comparison
January through May 2023

	Jan - May 23	Jan - May 22	% Change
Net Income	120,140	10,647,792	-99%



June 15, 2023

Mr. David O'Brien
Counties of Warren & Washington Industrial Development Agency (Client)
5 Warren Street, Suite 210
Glens Falls, NY 12801
via email: dkobrien@att.net

**RE: Authorization for "Group B" Phases
Technical Services Change Order (TSCO) #4
Canalside Energy Park
Village of Fort Edward, Washington County, New York
LaBella Project No. 2221778**

Dear Mr. O'Brien,

Our TSCO #4 (attached for reference, dated January 12, 2023, and executed January 20, 2023) included "Group A" phases which were immediately authorized, and "Group B" phases which were to require a separate written authorization.

We hereby respectfully request authorization to proceed with the Group "B" phases. As a reminder, the Group "B" phases consist of the following:

- Phase 302: Preliminary Design and Map, Plan, and Report (Sanitary)
- Phase 303: Detailed Design (Sanitary)
- Phase 403: Preliminary Design and Map, Plan, and Report (Water)
- Phase 404: Detailed Design (Water)
- Phase 501: Coordination with WCSD and DEC

The fees associated with these phases will be as presented in the TSCO #4.



Please feel free to contact me at 518-824-1943 if you have any questions. Please sign and date below to confirm our authorization to proceed with the “Group B” phases.

Sincerely,

LaBella Associates

Paul Guillet, PE
Senior Civil Engineer

WWIDA Authorization for “Group B” Phases

Signature: _____

Printed Name: _____

Date: _____

Chris Round, AICP
Vice President of Planning

Attachments:
TSCO #4



January 12, 2023

Mr. David O'Brien
Counties of Warren & Washington Industrial Development Agency (Client)
5 Warren Street, Suite 210
Glens Falls, NY 12801
via email: dkobrien@att.net

**RE: Technical Services Change Order #4
Full Utility Design
Canalside Energy Park
Village of Fort Edward, Washington County, New York
LaBella Proposal Number No. P2205381**

Dear Mr. O'Brien,

LaBella Associates (LaBella) is pleased to provide this Technical Services Change Order (TSCO) for the development of design documents associated with providing utility services to the Canalside Energy Park. Please find our current project understanding, scope of services, and associated fee schedule below.

Project Understanding

Following internal discussions and based on funding timeframes, you have requested that we prepare a proposal for the full design services required to provide water service from the Village of Fort Edward and wastewater connection to the WCD#2 wastewater treatment plant. The following describes the organization of this proposal and the framework of our understanding for the project. Additional assumptions and limitations are described within the various Phases of the Scope of Services below.

The Project Site (also known as Study Area) is composed of the proposed wastewater and water connection routes:

- The Proposed wastewater connection is anticipated to include a sewer pump station at the Canalside energy park, and a $\pm 6,000$ linear foot force main running along the



Champlain/Barge Canal (within the New York State Barge Canal National Registry Property boundary) to an existing manhole on Baldwin Avenue.

- The Proposed water connection is anticipated to include ± 600 feet of water main replacement, as well as water storage tank on the Canalside Energy Park property.

At the time of writing the most likely approach for the stormwater separation portion of the project is to take advantage of a separation project already underway within the WCS D#2 sewershed. This separation project will be located approximately within a triangular region defined by Main Street, Feeder Street, and Lafayette Street in the Village of Hudson Falls. The WCS D has already developed a conceptual report for this project and is expecting to receive funding through a WQIP grant to pay for the detailed design and a portion of construction. It is our understanding the WCS D intends to retain another consulting firm to complete the design in Spring 2023.

This TSCO includes a review of the previously authorized Phases, a presentation of the proposed new phases, and fee and schedule summaries for the project as a whole. For clarity and to allow for additional phases in the future, the new phases have been organized in to “Series” as follows:

- 100 Series: Coordination and State Environmental Quality Review Act (SEQRA)
This Series includes Phases for coordination with NYS Canal Corps, SEQRA services and gas and electric evaluations.
- 200 Series – Field Investigations
This series of Phases is for cultural resource investigations, aquatic and ecological reviews and delineations, geotechnical support, aerial topographic survey, other survey work including Subsurface Utility Engineering (SUE).
- 300 Series – Wastewater Conveyance Design
This series of Phases provides for developing Basis of Design Report (BODR), a Map, Plan and Report (MPR) and Design Documents for the proposed wastewater conveyance improvements.
- 400 Series – Water Conveyance Design
This series of Phases provides for developing Basis of Design Report (BODR), a Map, Plan and Report (MPR) and Design Documents for the proposed water conveyance improvements.



- 500 Series – Separation Project Coordination
This series of Phases provides for documenting the design (by others) of the WCSD sponsored separation project and coordinating buy-in from the DEC.
- 600 Series – Environmental Permitting
This series of Phases provides for permitting by the United States Army Corps of Engineers (USACE) (Nationwide Permit (NWP 58)) and NYSDEC stream disturbance and Water Quality Certificates. Also in this phase are validations by the NYSDEC and USACE of the aquatic resource delineations and the permit negotiations and coordination.
- 700 Series – General Project Coordination
This Series includes a task for meeting coordination, communications, correspondence, and project management.

Scope of Services – Previously Authorized Phases

The previously approved phases (Phases 01 through 09) are summarized here for your reference:

Phase No.	Description	Fee
01	Data Collection/Analysis & Coordination	\$5,000
02	Prelim Selection Separation Project	\$10,500
03	Survey Services	-
04	Flow Monitoring (sub)	\$40,500
05	Concept Design - Pump Station and Force Main	\$10,600
06	Concept Design - Sewer Separation	\$9,500
07	Engineer's Report	\$12,200
08	National Environmental Policy Act (NEPA) Review	\$8,500
09	Aerial Survey Flight	\$3,135
	TOTAL PREVIOUSLY AUTHORIZED	\$99,935

Upon authorization of Phase 501, work on Phase 06 will be halted with \$5,617 of the budgeted \$9,500 remaining unspent. The fee for Phase 06 will therefore be reduced to \$3,883.



All other previously approved phases will remain unchanged.

Scope of Services – New Phases in this TSCO

100 SERIES – COORDINATION AND SEQRA

Phase 101 – Coordination with NYS Canal Corporation

One of the critical factors to completing the work is securing the right to utilize the target properties for establishing the utility connections. Use/occupancy of lands of the NYS Canal Corp is proposed and the NYS Canal Corp has reportedly been receptive to this proposal. This action will require additional review and approval for not only initiating cultural resource, aquatic and ecological, and geotechnical investigations on the Canal, but also, assuming the NYS Canal Corp route is selected, a license/operation and maintenance agreement to construct and operate the sewer main on Canal lands.

Under this phase, LaBella will develop an information package for submittal to the NYS Canal Corp. The package will provide background information on the planned utility alignment, a brief description of the proposed project, the initial field work phase for cultural resources, wetlands, ecology and geotechnical investigations, and potential easement/ROW limitations as well as a description of construction methods.

It may be appropriate to conduct a meeting either in the field or in a mutually agreed to office, to discuss procedures to secure NYS Canal Corp approvals. Following this/these meeting(s), we will develop a letter report to you summarizing the results of the meeting and to recommend next steps to further the project. We recommend that representatives from the Village and/or County should be involved throughout this process.

Phase 102 - SEQRA Process Support

While the scope of the previously authorized NEPA support services is limited to construction of the wastewater force main, the SEQRA will encompass the following components/approvals¹:

¹ Additional engineering tasks outlined in this proposal are Type II actions and not subject to SEQRA.



- WWIDA: approval of the use of grant funds & expenditure of funds;
- Village & Town of Fort Edward: approval of outside water user agreement or similar mechanism;
- WCSD: approval of the extension of the WCSD#2;
- NYSDOT: highway work permit (Argyle Street/NYS Route 197);
- NYS Canal Corp: approval of the use of NYS Canal Corps lands for construction of the wastewater force main;
- NYSDEC: Section 401 Water Quality Certificate; sewer project approval; and potential Stream Disturbance Permit;
- NYSDOH: water line approval;
- NYS Office of Historic Preservation (NYSHPO): Historic and Cultural Resources consultation; and
- USACE: Nationwide Permit 58 for utility line activities for water and other substances (note that this approval is not technically a SEQRA issue, as the USACE, as a federal agency, is neither an involved nor interested agency under SEQRA).

Part I of Full EAF: The Project is a Type I Action under 6NYCRR Part 617.4 and a Coordinated Review is required. We will hold a meeting with the Client and involved agencies (noted above) to determine the appropriate Lead Agency. Establishment of the SEQRA Lead Agency will then be initiated by preparing and circulating a Full EAF and Letter of Intent to serve as Lead Agency to the involved agencies. We have assumed that the Village of Ft Edward or the WWIDA will assume the role of Lead Agency.

We envision preparing a Full-EAF with an Expanded Project narrative. The Expanded Project narrative will include supporting information and coordination documents prepared in conjunction with the 100 Series Field Investigations outlined below. A summary of the findings of these Investigations will be prepared and included in the Expanded Project narrative.

Part II/III Full EAF & SEQR Notices: Part II of the EAF is an evaluation of impacts. We will prepare suggested responses to Part II of the EAF for review and approval by the Lead Agency. Part III of the EAF is an “Evaluation of the Magnitude and Importance of Impacts and



Determination of Significance.” Part III is completed in the event that the evaluation completed during Part II, identifies one or more moderate or large impacts may occur. We will prepare Part III of the EAF if required and work to support a SEQRA Negative Declaration; meaning an EIS is not required.

LaBella will provide suggested language (supporting the SEQR negative declaration) to the Lead Agency for incorporation into the required resolutions documenting the Negative Declaration. We will prepare the necessary notices (advertisement on the Environmental Notice Bulletin) and circulate the notices in satisfaction of SEQRA requirements.

Assumptions and Limitations:

- A SEQRA Negative Declaration is anticipated, and an EIS will not be required.
- No proposal for rezoning or zoning amendment is proposed at this time.
- Site specific development of the Canalside Energy Park is not proposed at this time and local site plan review is not required for the planned action.
- Offsite storm separation to address required mitigation of sanitary sewer flows has not yet been defined nor is it included in the SEQRA Review at this time. This will be address as a separate task.
- Utility providers (i.e. National Grid) will serve the site through existing utility ROWs.
- Application or license fees (i.e. NYSDOT, NYS Canal Corp) are not included.
- Under the SEQRA coordination, we note that this is a Type I Action under SEQRA, that a full Environmental Assessment Form (EAF) will be prepared, and that either the Village of Fort Edward or the WWIDA will serve as lead agency. We do not anticipate the need for an Environmental Impact Statement (EIS) for this project.

Phase 103 - Electric, Natural Gas, and Telecommunications Evaluations

The feasibility study outlined preliminary concepts to serve the site with electricity, gas and telecommunications (phone and fiber). The goal of this task is to begin communications with the utility providers, understand the options and impacts of the alternatives, identify specific utility upgrades to accommodate the targeted industries, and allow a cost comparison between the alternatives.



We will work with each of the respective utility providers to define the project's utility needs, means of service, and facility upgrade requirements. This will be accomplished through consultation with each of the utilities. This information will allow for the preparation of utility routing schematics, evaluation of off-site utility related impacts, and advancement of project planning suitable permitting.

200 SERIES – FIELD INVESTIGATIONS

Phase 201 – Cultural Resources Investigation

For this Phase, LaBella will provide cultural resource services through an WBE subconsultant (Hudson Cultural Services (HCS), Ltd.). The level of effort identified below is an estimate and may be refined as part of the consultation with the NY State Historic Preservation Office (NY SHPO). The cultural resource investigations will focus on undisturbed land, with coordination undertaken with NYSHPO prior to any investigations, including review of areas that will not require testing (i.e., disturbed roadways).

A Phase 1 Archaeological Survey will be completed using machine trenching for the corridor along the NYS Barge Canal supporting installation of the wastewater lines. The corridor is $\pm 6,000$ feet in length and begins at the Canalside Energy Park, continues south along the Barge Canal (within the New York Barge Canal National Register Property boundary), and then continues in Baldwin Avenue to the manhole supplying the WWTP. The proposed wastewater pipe will be installed to a depth of 6 feet below grade. To test this area, it is anticipated that a machine (backhoe) excavated trenches will be utilized to determine if there are significant cultural features, associated with the 19th and early 20th century canal operations located within the wastewater corridor (i.e., Area of Potential Effect or APE). Mechanical Excavations in the area of the Canal will consist of eight trenches approximately 150' in length. The placement of trenches will be determined on a review of the archival information pertaining to construction of the canal to determine if intact features remain. It is anticipated that the trenching portion of the field investigations will require three field days.

A Phase 1 Archaeological Survey completed using shovel testing from the proposed water tank at the Canalside Energy Park, continuing south and west and then south again on lands owned by East Street WWC, LLC, to a manhole cover on East Street, and an additional area of study along East Street to just past Baldwin Avenue for the installation of water lines for a distance of $\pm 2,470$ feet at a depth of 6 feet below grade. Shovel testing will focus on



undisturbed areas with coordination undertaken with NYSHPO to confirm that shovel testing is not required in previously disturbed areas. In terms of testing strategy, a series of shovel tests will be hand excavated at 50-foot intervals along the level areas of the $\pm 2,470$ linear APE. It is expected that this will take two field days. Areas covered with asphalt and or concrete will be excluded from testing, as will wetland areas, stream corridors and areas of significant ground disturbance, should they exist within the project area. In addition, to comply with NYS Office of Parks, Recreation and Historic Preservation (NYSOPRHP) standards, the soils cannot be frozen in excess of three inches below the surface at the time of field investigations. The determination of the areas to be tested is based on the sensitivity model developed by the OPRHP. The perimeter of Map Documented Structures will be tested at a 10' interval, as will a 25' envelope around each structure. To begin field excavations we will require an existing conditions map at a scale of 1"=100' or 1"=50', showing existing features (such as existing structures, stone walls or fences) as well as areas in excess of 12% slope. This existing conditions map can be provided electronically as an Adobe Acrobat Portable Desktop File (.PDF) format or DWG file. LaBella will prepare this map for use by our subconsultant.

Recovered cultural material (if any) will be taken to the laboratory, where it will be washed, re-bagged according to New York State Museum protocol, identified, and recorded in a standardized catalog. Analysis of the material in the laboratory will provide dates for the collection based on the typology of prehistoric lithic or ceramic materials and/or a general assessment of the dates for any historic materials (including ceramics and glass). The cost estimate for the processing of the artifacts is based on the recovery of no more than 50 artifacts. If significantly more artifacts are recovered, there will be an additional charge for laboratory processing at the rate of \$50.00 per hour. These expenses, should they arise, will be discussed with the client before the work begins.

A Phase 1 Archaeological Survey report will be prepared consisting of the results of the Phase I Survey, including a field survey map, the inventory of materials recovered from the site and a written description of the work completed by the field team and photographic documentation. This report will also include the results of the background research, the methodology employed and details pertaining to any cultural features identified and recommendations for further archaeological investigations if warranted.



Assumptions and Limitations:

- The NY State Historic Preservation Office may have specific requests which could potentially alter the overall costs associated with archaeological excavation. These cost and potential work scopes outlined may need to be refined to conform with requests made by SHPO.
- Mechanical excavations in the area of the Barge Canal will consist of trenching, machine removal of disturbed soils and overburden to determine if 19th century canal features are present.
- Trenching work can likely be completed until there is 3-inches of frost in the ground.
- It is assumed that trenching will require three days to complete. This scope includes hiring an excavator and operator to support three days of trenching.
- Shovel testing will be required around areas not considered to be previously disturbed, where subsurface disturbances are proposed.
- Shovel testing can be completed if there is no frost in the ground.
- Recovered cultural material (if any) will be taken to the laboratory, where it will be washed, re-bagged according to New York State Museum protocol, identified, and recorded in a standardized catalog. Analysis of the material in the laboratory will provide dates for the collection based on the typology of prehistoric lithic or ceramic materials and/or a general assessment of the dates for any historic materials (including ceramics and glass). The cost estimate for the processing of the artifacts is based on the recovery of no more than 50 artifacts. If significantly more artifacts are recovered, there will be an additional charge for laboratory processing at the rate of \$50.00 per hour. These expenses, should they arise, will be discussed with the client before the work begins.
- Current OPRHP standards require that eight additional shovel tests must be excavated at close intervals around each culturally positive shovel test. Since we cannot know in advance whether cultural material will be identified, and whether additional shovel testing will be required, these additional shovel tests are not included in the cost estimate. Should confirmation tests be necessary they will be billed additionally at \$35.00 per test.
- In addition, the cost estimate does not include any expenses related to the recovery, disposition or analysis of Human Remains, should they be identified on the site.



While such a find is extremely unlikely, all costs related to the recovery of human remains would represent an additional phase of work.

- Should HCS be required to represent the client at planning board meetings, the NYSHPO, or other project related consultations, hours will be billed separately at \$125.00 per hour for meeting and travel time.
- A Phase 2 investigation is not included in this scope. If required, Phase 2 archeological survey work will be presented as part of a separate change order.

Phase 202 - Aquatic Resource and Ecological Desktop and Field Preliminary Review

We will review applicable local, state and federal mapping to identify the potential limits of aquatic resources on the Project Site. We will review the NYSDEC on-line resources to identify whether there are any records of threatened or endangered species on the Site, submit a letter to the NY Natural Heritage Program to determine if there are any record occurrences, and review the United States Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website for federal species.

We will complete a walkover of the Project Site (sewer and water line routes). The purpose of the site walkover will be to determine if state or federal regulated aquatic resources, including wetlands, are found on or in close proximity to the site and, if so, their extent, and to examine on-site habitats and assess their potential for supporting resident or transient populations of endangered, threatened, or rare species. This will form the basis for identifying any additional due diligence efforts.

We will prepare a letter report summarizing our findings.

Assumptions and Limitations:

- This work needs to be conducted when the site is generally free from snow.

Phase 203 - Aquatic Resources Delineation and Report

If, during the Phase 102 effort, aquatic resources are found on the Project Site, LaBella biologists will complete a delineation of aquatic resources and prepare a report describing them to support a Preliminary Jurisdictional Determination (PJD) for submission to the NY District of the USACE, and a request for map validation by the NYSDEC, if needed.



Field Delineation: LaBella biologists will flag aquatic resources within the Project Site. The Study Area will follow the same routes as those described in Phase 102, with the Study Area anticipated to be 35-foot-wide along the length of the route. Along roadways, the 35 feet will extend from the edge of pavement on both sides of the road.

The location of the wetland/upland boundary will be identified according to the 1987 USACE Wetland Delineation Manual and the Northcentral/Northeast Regional Wetland Delineation Supplement, which documents accepted delineation methods, and/or Regulatory Guidance Letter 2005-05, which provides guidance for the identification of the Ordinary High Water Mark (OHWM) for streams and water bodies. Representative photographs of the uplands and aquatic resources will be taken for documentation, and data will be collected to fill out USACE wetland determination data forms. The centerlines or channel edges of all NYSDEC-regulated streams will also be flagged in a similar way.

Aquatic Resource Delineation Report: LaBella will prepare an aquatic resource delineation report and a PJD package, including a survey map of the wetland boundaries, for submission to the USACE. If the wetlands are determined to be under state jurisdiction, mapping for validation by the NYSDEC will be prepared. The USACE has two types of approvals available; a PJD or an Approved Jurisdictional Determination (AJD). A PJD can be used for permitting, and is quicker to obtain, but it does not provide a formal delineation by the Corps and cannot be used if there are any isolated wetlands. An AJD can also be used for permitting, is a formal, legally binding delineation, is used to document isolated wetlands, but is more difficult to obtain. At this time, we do not believe that isolated wetlands will be identified, and therefore recommend the use of a PJD. The delineation report will follow the USACE NY District Jurisdictional Determination Checklist. The delineation report (which includes the PJD materials), will be provided to the Client for review and comment. The fee for this task assumes one round of comments on the report. Once the report is finalized, one paper copy and one digital copy of the report will be provided to the Client.

Assumptions and Limitations:

- This Scope of Services does not include review of any isolated wetlands, or preparation of an AJD.
- The fee for survey and mapping of the wetland boundaries is included under the land survey task.
- It is noted that completing wetland delineations outside of the growing season is at risk of not being accepted by applicable agencies. As such, if agency coordination is



needed for a project, a spring data collection task may be needed to complete data collection or delineation during the growing season to be able to meet the requirements of the regulatory agencies. The additional fee for spring field review is not included in this proposal.

Phase 204 - Geotechnical Services

LaBella will prepare and implement a program of test explorations to identify subsurface information in support of the project design. Data relative to soil strata and depth to groundwater and bedrock (where encountered) will be identified. The figures below show the anticipated testing locations for both the sanitary sewer and water improvements.

Figure 1: Geotechnical testing locations related to sanitary sewer improvements

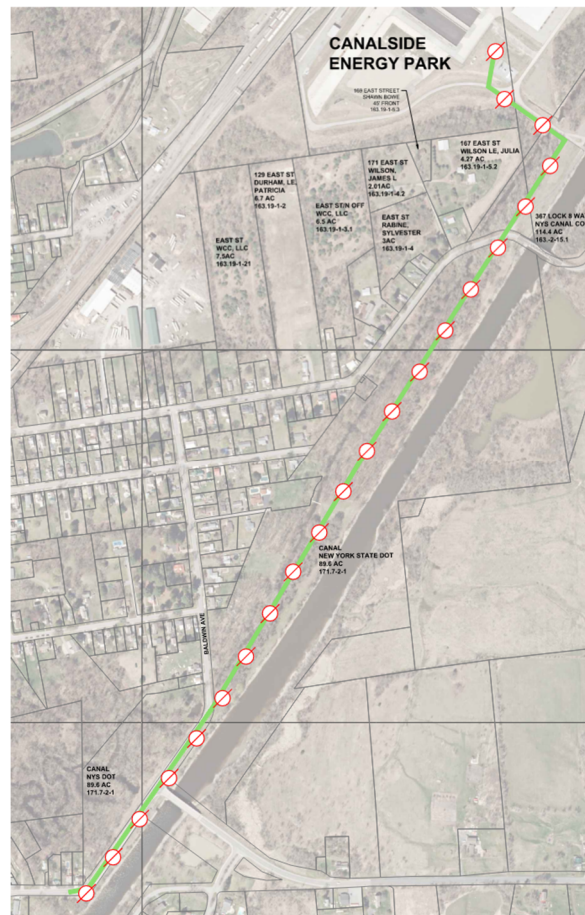
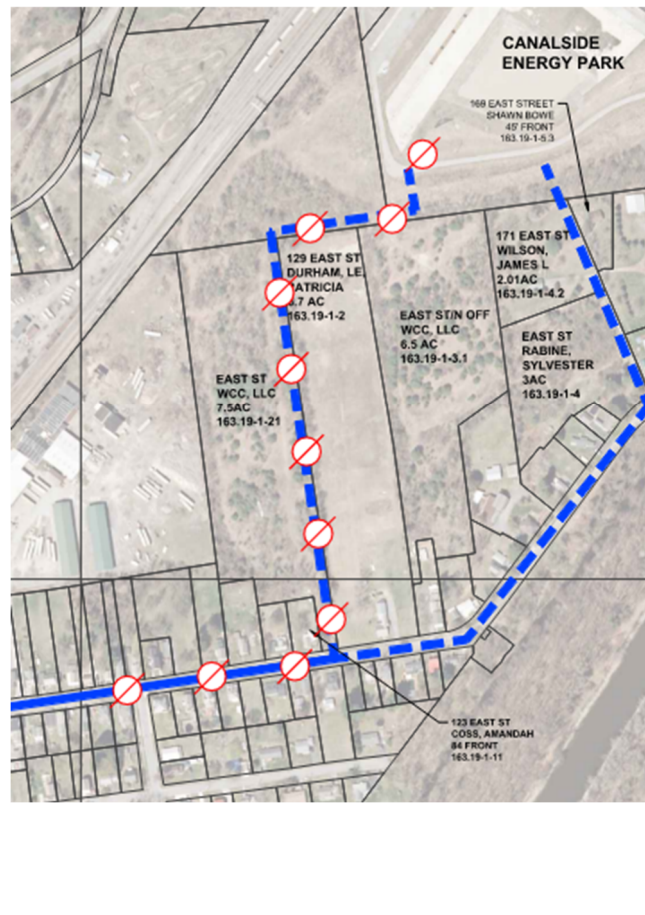


Figure 2: Geotechnical testing locations related to water improvements



The test explorations will consist of up to 34 (thirty-four) small diameter probes utilizing macro-core sleeves. These probes will be advanced to a maximum depth of 15-feet or



refusal, spaced approximately 250-feet along each utility alignment. The explorations will be laid out in the field in advance of the work. We anticipated these probes will require four field days.

At the pump station location, two (2) test borings will be advanced to approximately 30 feet or refusal over one field day. Each test boring will be advanced with standard spilt spoon sampling. No rock core samples will be obtained.

A truck-mounted drill rig will be utilized to access the test explorations along existing roadways. A track-mounted drill rig will be utilized for all explorations off a roadway surface.

As part of this effort LaBella will install three temporary monitoring wells: one at the site of the proposed pump station, and one each along the water and sanitary routes. These monitoring wells will be observed daily over the course of one week before being removed or abandoned.

A qualified representative will monitor the test explorations and prepare detailed subsurface logs. At the completion of the field work, we will summarize the subsurface conditions in an interpretive letter and provide general geotechnical recommendations to support design of the utilities and the pump station structure.

Assumptions/Limitations

- Access to NYS Canal Corp lands will be coordinated by others and the cost to coordinate is not included in this scope.
- Within the NYS Canal Corp lands, the driller will need to obtain a permit from the NYS Canals. It is assumed that the effort required to obtain this permit will be covered under Phase 10 of this proposal.
- Outside of the NYS Canal Corp lands, maintenance, and protection of traffic (MPT) in the form of orange cones will be established around the work zone.
- The fee for this phase utilizes the prevailing wage for the drill crew as required by NYS Department of Labor (NYSDOL).

Phase 205 - Aerial Topographic Survey

Under Task 09, previously authorized, LaBella contracted with Bluesky International (Bluesky) to provide new aerial photographs within the areas shown on the map below. The



aerial flights and photographs were completed on Monday December 5, 2022. The Phase 105 here is to have LaBella request that Bluesky to complete topographic mapping with 1-foot contour intervals and spot elevations within the limits shown on the map below. LaBella will provide the horizontal and vertical aerial control to Bluesky. Approximately ten (10) aerial control points will be required, The Horizontal datum will be based on New York State Plane Coordinates (NAD83) and the vertical datum will be based on NAVD 88 as observed from Global Positioning System (GPS) observations. A minimum of 2 permanent site benchmarks will be established. Topographic survey will include structures visible at ground surface from aerial photographs, edge of woods lines, roads, drives, and visible utilities that can be observed within the aerial photographs.



Phase 206 – Partial Boundary Survey and Topographic Field Edits

LaBella will complete partial boundary survey and topographic field edits as described below. The property boundary survey and the survey for underground utilities will be limited to the areas noted in the description below. If, during the Phase 103 effort, aquatic



resources are found on the Project Site, LaBella biologists will complete a delineation of aquatic resources and prepare a report describing them to support a PJD for submission to the NY District of the USACE, and a request for map validation by the NYSDEC, if needed.

Partial Property Boundary Survey: LaBella will complete a partial boundary survey of the subject parcels identified as Section 163.19 Block 1 and Lots 21, 1, 2, 3.1, 11 and 163.15-1-4 in the Village of Fort Edward. All surveying will be completed in accordance with the “Code of Practice” as adopted by the New York State Association of Professional Land Surveyors. LaBella will complete research which is normal to the completion of surveys completed under the above referenced code. We do however, recommend that an abstract of title be completed by a local title company. This will assure that all recorded easements and ROW records are discovered.

Topographic Field Edit Survey: In conjunction with the mapping being prepared by Bluesky, under Phase 105, LaBella will perform survey field edits to locate existing utilities within the Project Study Area defined in introduction to this proposal for the two corridors and obtain inverts. Once the aerial mapping has been completed LaBella will return to the project to verify the existing conditions within the two project corridors. Underground utilities will be shown to the extent possible based on surface evidence and maps of record. LaBella will attempt to contact public utility owners and obtain existing underground utility locations within the project area. This coordination will be facilitated through the appropriate “One Call” center requesting “design mark out”. However, we are increasingly finding that some utility companies will not perform mark out for design surveys. Therefore, we have provided in-house Subsurface Utility Designation in this TSCO under a separate Phase.

Assumptions and Limitations:

- Invert elevations will be determined based on measurements taken from the surface without entering the structure. Utilities will be shown in accordance with CI/ASCE² 38-02, “Standard Guidelines for the collection and depiction of existing subsurface utility data”, Quality Levels “C” and “D”.
- The highway ROW for the Municipal Streets within the project area will be shown approximately based on the best available record mapping and tax maps, positioned in conjunction with found property line evidence.

² American Society of Civil Engineers



Phase 207 - Subsurface Utility Designating and Survey

For underground utilities that do not have surface features, mapping is not available and the locations of underground utilities are critical, LaBella will perform electromagnetic utility designation within accessible areas within the Project Study Area defined in introduction to this proposal in an attempt to determine the existence and approximate position of detectable subsurface utilities. All utility designation will be in compliance with Quality Level “B” as defined by CI/ASCE 38-02, *Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data*. Any utilities not detected by surface geophysical methods and discovered through record information or where visually aligned with structures, will be defined as Quality Level “C” and “D”.

LaBella will prepare an existing conditions base survey demonstrating the topography and utilities within the Project Study Area defined in introduction to this proposal. Mapping will be completed in AutoCAD Civil 3D format. The existing conditions base map will have a Border with Title Block, Name of Surveyor, Map Notes and References, Legend and Site Location Map. Deliverables will be a PDF copy of signed and sealed map and an AutoCAD Civil 3D file.

Standard Procedures – Designating: A LaBella SUE technician(s) will utilize a suite of utility locating instruments having differing frequencies and power settings to detect and follow locatable utility systems within the project site. The instruments will have the ability to provide passive signal detection, as well as active signal application by induction, direct connecting and inductive clamping. The utility designations will be targeted for survey by painting the approximate centerlines on the ground surfaces at reasonable distances. Flags may also be installed as needed. Paint and flags will be in accordance with the American Public Works Association (APWA) uniform color code guidelines where allowed.

Assumptions and Limitations:

- This service will be provided with due diligence and in a manner consistent with standards of the subsurface utility mapping industry. Every reasonable effort will be made to locate all systems of interest whether indicated on records available to us or not. However, we do not guarantee that all existing utility systems can or will be detected. It may not be possible to detect utilities without prior knowledge, such as systems that are not depicted on records made available to us. Further, this service is not intended to detect non-utility structures such as, but not limited to: foundations, irrigation systems, septic systems, wells, tunnels, concrete or metal



structures, or the true size and limits of subsurface utility vaults and manholes. Use of this service does not relieve interested parties from their responsibility to make required notifications prior to excavation.

- Marking services will reflect interpretation of electronic data collaborated with record and visual indications. Professional judgment will be used to reflect the underground utilities with the intended utmost accuracy and comprehensiveness. The results may be affected by numerous site conditions, including but not limited to utility materials, joint types, fittings, density of underground utilities, interference with above ground conductors and soil characteristics. Underground conduits or utilities constructed of non-metallic or non-electrically conductive materials without a tracer wire may not be detectable by any means short of physically exposing them. There is no guarantee that all facilities can be found and shown.
- The utility designating service as per ASCE 38-02 QL-B is intended to allow for fairly accurate and comprehensive mapping of underground utilities, active and abandoned, when the utilities can be electronically detected or known about from record or verbal recollections. The intent of the mark out and survey is to delineate the centerline of pipes or one single cable. When marking multiple cables or cables within duct systems, marking may be the result of the location of any cable within the system or an average electromagnetic field from a group of cables. The service is not intended to provide engineering grade data about a utility or to provide corridor marking for plant protection of a utility. Additional work would be needed by LaBella to acquire exact size, location and material of underground utilities, as well as to mark the actual width of a utility to ascertain clearance during mechanical excavation or for structure design purposes.
- Mapping of sanitary and storm sewers is typically performed at quality level (QL) C. When lines can be proven to be on straight line between manhole and / or other types of gravity structures, the line will be correlated with record information and shown at QL C. When needed, a fish tape or traceable duct rodder will be inserted into pipes to detect and follow the piping. Insertion of the tape/ rodder will only be attempted from the ground surface without entering the manhole.
- Piping detected in this fashion will be mapped at QL B. Obstructions may limit the distance the fish tape or rodder can travel; therefore, preventing further mapping of the pipe. The location of the obstruction will be noted with an EOI (end of information) at that point. Sewer inspection with a camera or excavation may be



needed to further investigate the piping. Sewer camera inspection is excluded from the scope of this proposal.

- There is no intent to perform a full coverage grid sweep of the project with Ground Penetrating Radar (GPR). GPR will be used in a targeted approach on the project where thought to be beneficial to supplement electromagnetic utility locating instruments.
- It should be noted that the metal-detector cannot be used over reinforced concrete or in the immediate vicinity (no less than 8-feet) of above ground metallic objects such as chain-link fences and vehicles.
- The mark out does not include the provision of any depth information for the utilities. If determined during design development that depths of utilities are critical, LaBella would recommend the use of air/ vacuum test holes and would provide an additional service proposal for this service.
- Cost itemized herein are for those tasks specifically mentioned and do not include the following:
 - It is assumed that the Subsurface Utility Mark Out and location will be completed in two (2) phases. First phase along the existing Streets and second phase once a preliminary route has been established along the NYS Canal Corps lands and private parcels. Within the area of the Canal a 60-foot-wide corridor will be investigated for utilities.
 - It is the client's responsibility to supply LaBella with any deeds, maps, recorded or unrecorded information.
 - The client shall arrange for all necessary permissions to allow LaBella and their employees to enter upon the lands of others as necessary to complete this proposed project, and to save and hold harmless LaBella its agents, servants, and employees from any claims for damages for trespass on the subject premises and adjoining lands.
 - LaBella remains the owner of all survey notes, electronic files, computations, maps and drawings produced in connection with this work.
 - The Client will identify existing utilities and supply record plans.
 - The Client shall arrange to have all sanitary and storm structures cleaned from debris prior to the field topographic survey.



- Complete Boundary or ROW Survey is not included.
- Subdivision, Lot Consolidations, Easements or Descriptions is not included.
- ALTA/NSPS³ Land Title Survey is not included.
- Our fees for survey services are in accordance with New York State law, been calculated based upon the prevailing wage rate as established by the NYSDOL. The prevailing wage rates are subject to periodic change by the NYSDOL. If the Prevailing wage rates are modified during the project, all subsequent survey services will be performed at the applicable prevailing wage rate. Client hereby agrees to adjust our fees to reflect such prevailing wage change including, if necessary, increasing the maximum amount payable on the contract.

Phase 208 - Corridor Assessment - ASTM⁴ E1528-22 Transaction Screen

LaBella's Scope of Work is to perform a Limited Environmental Due Diligence: Transaction Screen, prepared in accordance with ASTM E1528-22 for both sites shown below (two reports will be provided). This Scope of Work will attempt to determine if Potential Environmental Concerns (PECs) are associated with the Subject Property. PECs are defined as the possible presence of any chemicals of concern on a subject property under conditions that indicate an existing release, a past release, or a threat of a future release of any chemicals of concern into structures on the subject property or into the ground, groundwater, or surface water of the subject property. The term includes chemicals of concern even under conditions in compliance with laws. (Note that "threat of release" is a Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) concept generally understood to exist when chemicals of concern are poorly managed [for example in corroded tanks or damaged containers] but the release of the contaminants has not yet occurred, and there is an opportunity to take response action to prevent a release of the contaminants.) Specific tasks to be completed include:

- Coordinate the Owner's and Occupant's completion of related sections of Transaction Screen Questionnaire by a representative of the current owner or occupant (if available).

³ American Land Title Association/National Society of Professional Engineers

⁴ American Society of Testing Materials.



- Inspect the Subject Property and adjacent properties, to visually identify areas of concern. Adjacent properties will be viewed from public roadways and the Subject Property boundaries to the extent possible.
- Complete the Transaction Screen Questionnaire sections, in our role as Preparer, based on LaBella's observations and data gathered.
- Review of at least two of the following historical sources to assess past uses and development of the Subject Property: fire insurance maps (if available), city directories, historical aerial photographs, and/or topographic maps.
- Review of previous studies, if provided.
- Review selected federal, state, and tribal environmental databases equivalent to the ASTM E1528-22 list. The database search report will be obtained from a third party.
- Prepare a Limited Environmental Due Diligence: Transaction Screen Environmental Site Assessment (ESA) report.

The Client will be entitled to rely on the findings of the Limited Environmental Due Diligence: Transaction Screen ESA report. If the Client requests that reliance be extended to other entities (e.g., lending institutions, development partners, etc.) additional fees may be incurred.

Assumptions and Limitations:

- The work areas are as described in the will be divided into two areas as described below: within the Project Study Area defined in introduction to this proposal and public roadways and sidewalks. No structures are located within the Project Study Area.
- Client and LaBella agree that this Transaction Screen Scope of Work does not include services arising from or related asbestos-containing building materials (ACBMs), radon, lead-based paint, lead in drinking water, mold or microbial growth conditions, PCB-containing building materials, ecological resources including wetlands and endangered species, regulatory compliance, cultural and historic resources, indoor air quality, biological agents, industrial hygiene, or health and safety. If additional services are requested, a revised proposal will be provided for review.
- Limit of the Transaction Screen to Meet All Appropriate Inquiry. The Client is advised that a Limited Environmental Due Diligence: Transaction Screen ESA Report will not



satisfy the practices that constitute "all appropriate inquiry" as defined by 42 U.S.C §9601(35)(B), for the purposes of qualifying for innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on Comprehensive Environmental Response, Compensation, and Liability Act liability. The use of a Limited Environmental Due Diligence: Transaction Screen ESA is strictly limited to the scope set forth, which identifies for informational purposes, certain environmental conditions that may exist on a property that are beyond the Scope of Work but may warrant consideration by parties to a commercial real estate transaction.

- Recognizing reasonable limits of time and cost, no environmental site assessment can wholly eliminate uncertainty regarding the potential for PECs in connection with a property. Work performed by LaBella pursuant to the agreement is intended to reduce, but not eliminate, uncertainty regarding the potential for PECs in connection with the Subject Property. Client acknowledges and agrees that LaBella shall not be liable for any damages that may result should the Limited Environmental Due Diligence: Transaction Screen ESA performed in general accordance with ASTM E1528-22 fail to reveal the potential for PECs at the Subject Property.
- The site visit will be limited to visual observations of accessible areas only. It is possible that visual observations may be limited at the time of the site visit due to snow cover, vegetative growth, stored materials, parked vehicles, or topographic features. No attempt will be made to observe conditions in spaces not generally accessible, including but not limited to:
 - Entering crawlspaces and attics
 - Walking on roofs
 - Viewing the interior of pipe chases or plenum
 - Viewing spaces concealed by walls, floors, ceilings, interior finishes, etc.
 - Viewing areas inaccessible due to topographic features or locked doors, obscured by snow cover, vegetative growth, vehicles, etc.
 - Areas at the Subject Property deemed to be accessible will be left to the judgment and discretion of the personnel conducting the site visit.
- Assumptions and Data Gaps. The client acknowledges that LaBella will make various assumptions, and agrees to hold LaBella harmless for conclusions made or not made based on these assumptions



- Groundwater flow approximately mimics major topographic gradients.
- Representations made during interviews are accurate.

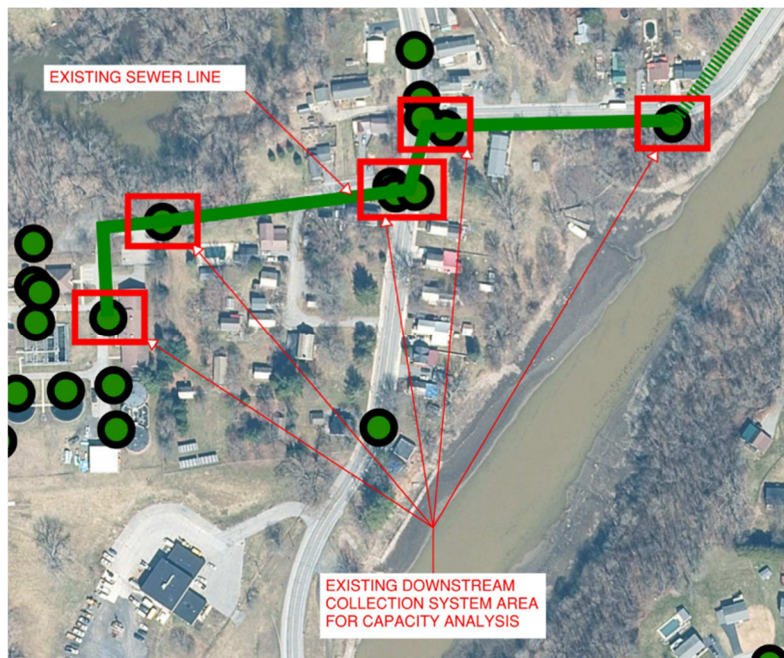
300 SERIES – WASTEWATER CONVEYANCE DESIGN

Phase 301 – Basis of Design Report

LaBella will prepare a Basis of Design Report (BODR) for the collection of the sanitary sewerage discharge to be utilized as the base for the design of the conveyance system. The BODR is intended to document key information, assumptions, directives, guidance and pre-design investigations considered in designing the wastewater conveyance system. This document will be provided to the regulatory agencies as required for review, comment and permitting.

The BODR will include an existing system downstream capacity analysis from the existing tie-in manhole on Argyle Street to the WWTP. The sketch below shows the extents of the existing collection system to be analyzed.

Figure 3: Downstream sanitary collection system to be analyzed.





Assumptions and Limitations:

- Based upon the location of the collection system discharge and the topography of the area, LaBella assumes that a sanitary pump station, located in the southeast corner of the property will be required to collect the sewerage from the development area to be “pumped” to the existing publicly owned WWTP works.
- As discussed in previous meetings with the client, a benchmark of 100,000 gallons per day (gpd) or 0.10 million gallons per day (MGD) average daily sanitary sewerage discharge will be designed for.

Phase 302 – Preliminary Design and Map, Plan, and Report

It is our understanding that the WWIDA intends to move forward with an expansion of the wastewater district. Under this phase, LaBella will prepare a Map, Plan, and Report for the chosen alternative presented in the BODR. The Map, Plan, and Report will be developed in accordance with State standards and will include project description, project cost information and user cost information. To support district expansion, the drawing set will be advanced to a 30% level. This phase includes LaBella’s attendance at one public hearing and the preparation of a PowerPoint presentation.

Based on feedback from the WCD#2 and WCD#2 counsel, out-of-district users will not be considered for this project. As such, the existing water district shall be expanded to include the Canalside Energy Park site. This proposal includes services for the preparation of a MPR to support district expansion.

Assumptions and Limitations:

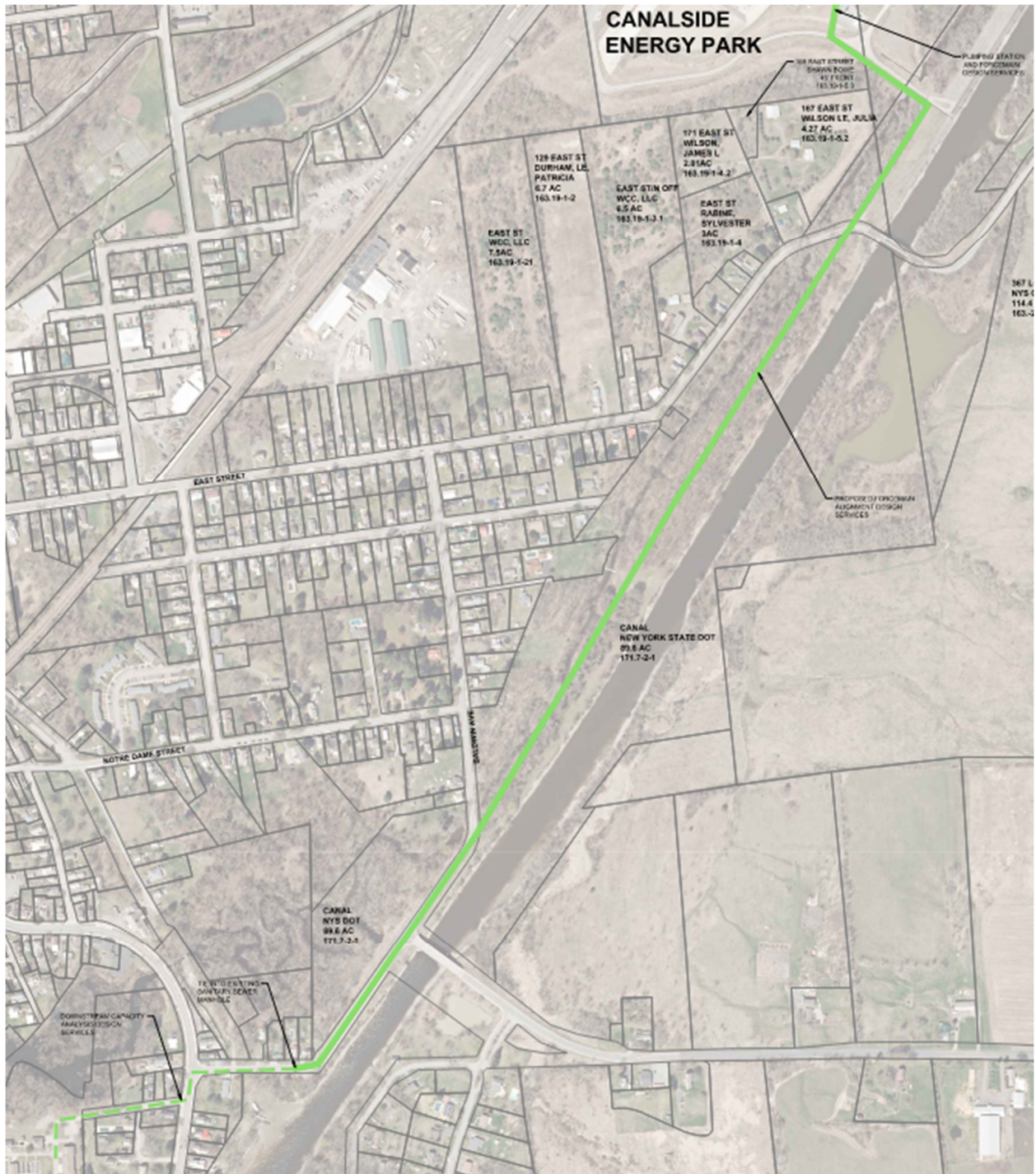
- WCD#2 counsel will assist with the administration of the MPR.

Phase 303 – Detailed Design

This scope was prepared under the assumption that the project will include the construction of a sanitary sewer pump station on the Canalside Energy Park property, and of a 6,000 linear foot force main to connect to an existing sanitary sewer manhole on Baldwin Avenue. the force main corridor is depicted on the following sketch:



Figure 4: Wastewater force main alignment





This phase of the project will include the development of detailed design documents for the proposed facilities, including plans and technical specifications.

Following the WCSD#2 and WWIDA's chosen alternative, detailed plans and technical specifications will be prepared in support of the design. The plans and specifications set will be suitable for regulatory agency submission. Specifically, the project will be considered a sewer extension and therefore review and approval will be required by the NYSDEC.

Detailed Design documents will be provided at the 30%, 60% and 90% completion levels. Each percentage complete stage will include a submission to the client for review, a five (5) calendar day review period and provisions for a review meeting at the conclusion of each review period. Any comments developed during each review period will be incorporated into the next percentage complete submission.

Each percentage complete stage will build on the previous and will include Detailed Design Drawings, Technical Specifications, and an Engineer's Opinion of Probable Construction Cost.

Deliverables:

- Deliverables for each of the percentage complete stages will include the following:
 - Four (4) sets of full-sized (22" x 34") Detailed Design Drawings, unbound
 - Four (4) sets of half-sized (11" x 17") Detailed Design Drawings, unbound
 - Four (4) sets of Technical Specifications, unbound
 - One (1) electronic copy in Adobe Acrobat .PDF format of the Detailed Design Drawings and Technical Specifications
- The Detailed Design Drawings are anticipated to include:
 - Title Sheet
 - Abbreviation Sheet
 - General Notes
 - Survey Control Plan
 - Soil Boring Locations
 - Forcemain Plan and Profile Sheets (5)



- Dimensional Site Plan
- Grading, Drainage, Erosion and Sediment Control Plan
- Pump Station Mechanical Floor Plan
- Pump Station Sections (2)
- Pump Station Elevations
- Typical and Discipline Details (6)
- The Technical Specifications are anticipated to include:
 - Section 03 11 13 Concrete Forming
 - Section 03 15 13 Waterstops
 - Section 03 30 00 Cast-In-Place Concrete
 - Section 22 13 46.13 Facility Wet-Well Packaged Sewage Pumping Station
 - Section 26 05 00 Common work Results for Electrical
 - Section 26 06 00 Schedules for Electrical
 - Section 26 08 00 Commissioning of Electrical Systems
 - Section 26 50 00 Lighting
 - Section 31 00 00 Earthwork
 - Section 31 22 00 Grading
 - Section 31 23 00 Excavation and Fill
 - Section 33 05 04 Selective Demolition for Utilities
 - Section 33 05 05.31 Hydrostatic Testing
 - Section 33 05 19 Ductile Iron Utility Piping
 - Section 33 05 31.19 Fusible Polyvinyl Chloride Pipe
- LaBella will submit the BODR, Detailed Design Drawings and Technical Specifications for the wastewater conveyance to the NYSDEC for review and approval.

Assumptions and Limitations:

- The documents will be developed in standard LaBella designated title block drawing format and will be provided in both hard copy and digital format. All digital files will be



provided in PDF format. The technical specifications will be based on the Construction Standards Institute (CSI) MasterFormat (MF) layout.

- We will coordinate with NYSDOT to ensure design meets their requirements. However, the NYS Department of Transportation (NYSDOT) highway work permit will be acquired during construction administration and is not part of this scope.
- The proposal does not include front end specifications (Division 00 and 01) nor does it include bid and construction phase services. It is our understanding that the client will proceed with these services once additional funding has been secured, and under a separate project scope.
- The construction of the water improvements and wastewater system are assumed to disturb greater than 1 acre of land and together be considered a Larger Common Plan of Development or Sale. Prior to the beginning of construction, the project will be required to obtain coverage under the NYSDEC General Permit (GP) 0-20-001 for Stormwater Discharges During Construction Activities. As with other construction phase services, the preparation of a SWPPP document is not included in this proposal.
- This scope includes the identification of required easements and/or property acquisitions. However, the surveyor preparation of easement and other legal property transfer documents is not included in this scope.

400 SERIES – WATER SYSTEM DESIGN

Phase 401 – Basis of Design Report

LaBella will prepare a Basis of Design Report (BODR) for the water distribution system. The BODR is intended to document key information, assumptions, directives, guidance and pre-design investigations considered in designing the water distribution system. This document will be provided to the regulatory agencies as required for review, comment and permitting.

Assumptions and Limitations:

- The proposed alignment considered for this proposal is depicted in figure included with the “Detailed Design” Phase below. Expansion of the proposed alignment will require a technical services change order.



- Since tenant(s) of the Canalside Energy Park have not been identified at this time, ownership and operation of proposed water infrastructure outside the Village ROW will become the responsibility of the WWIDA and/or future tenant(s). For the water system this includes, but is not limited to, upgrades to meet Fire Code requirements, upgrades to meet specific flow and pressure needs.
- Based on the 2021 Village of Fort Edward water report, the water treatment plant is capable of treating 1,250,000 gallons of water per day. In 2021 average daily demand was 307,786 gallons, and the highest day demand was 520,000 gallons. It is therefore our understanding that the treatment plant has ample capacity to supply the 100,000 gallons per day anticipated for this project.
- The proposed scope assumes the Canalside Energy Park project as a whole will have an average daily water demand of 100,000 gpd, because the maximum allowed wastewater discharge was determined to be 100,000 gpd.
- The proposed water service will be connected to the existing Village of Fort Edward water main along East Street. The Village will own and operate proposed facilities in their ROW and the WWIDA will own and operate all other proposed facilities and improvements.

Phase 402 – Water Model Updates

In support of the BODR, LaBella will prepare a model of a portion of the water distribution network to determine the amount of potable water that can be supplied to the subject property without adversely impacting other areas of the system. As previously indicated, earlier discussions with the client anticipated a need for 100,000 gpd of water to be conveyed to the site. The water distribution system model will be prepared based upon existing, as well as proposed conditions. The results of the water distribution system model will dictate whether the site can be serviced solely by linear work (pipelines) or if there is a need for storage, either on-site or off.

The Village of Fort Edward developed a system wide water model in 2015, which will be used as the basis for the updated model. Because water demand changes over time, the proposal includes 2 days of field work and hydrant testing to refine the existing model (our office assumes the Village of Fort Edward will assist with hydrant testing). During the field work, we will use the opportunity with the Village staff to understand any changes that may have occurred in the subject water system since 2015.



Assumptions and Limitations:

- If record mapping of the existing water system to be modeled is insufficient, our office will rely on the Village of Fort Edward for model inputs.
- Hydraulic water models are useful design tools and approximate representations of a water system. The purpose of the water model is to analyze various design scenarios to assist with recommended alternatives. The model will rely on available data and mapping of the existing water supply system. System variables include, but are not limited to, actual pipe roughness, actual pipe diameter reduced by tuberculation, actual friction losses within system components (i.e. valves, bends, and connections), and changes in the system that have not been documented. Reasonable assumptions about the existing water supply system will have to be made if available data is not sufficient or lacking.
- It shall be noted that the results of the water model may expand the scope of design and require additional technical services.

Phase 403 – Preliminary Design and Map, Plan, and Report

It is our understanding that the WWIDA intends to move forward with an expansion of the water district. Under this phase, LaBella will prepare a Map, Plan, and Report for the chosen alternative presented in the BODR. The Map, Plan, and Report will be developed in accordance with State standards and will include project description, project cost information and user cost information. To support district expansion, the drawing set will be advanced to a 30% level. This phase includes LaBella's attendance at one public hearing and the preparation of a PowerPoint presentation.

Based on feedback from the Village and Village counsel, out-of-district users will not be considered for this project. As such, the existing water district shall be expanded to include the Canalside Energy Park site. This proposal includes services for the preparation of a MPR to support district expansion.

The water model will be used to develop a Basis of Design Report (BODR) for the proposed water infrastructure improvements. The BODR, in general, will consider three potential outcomes/alternatives:

1. The existing system has sufficient pressure and flow to meet demand.



2. The existing system lacks sufficient pressure and flow and as such an on-site booster pump station and/or storage facility will be required. (This proposal does not include design services of a booster pump station. If a booster pump station is required a technical services change order will be prepared for client review.)
3. The existing system lacks sufficient pressure and flow and the existing Village water system will require upgrades. (Please note that the services provided in this proposal for this alternative only includes water main replacement on East Street from Baldwin Street east to tax parcel 163.19-1-21. If additional upgrades are required, a technical services change order will be required.)

Assumptions and Limitations:

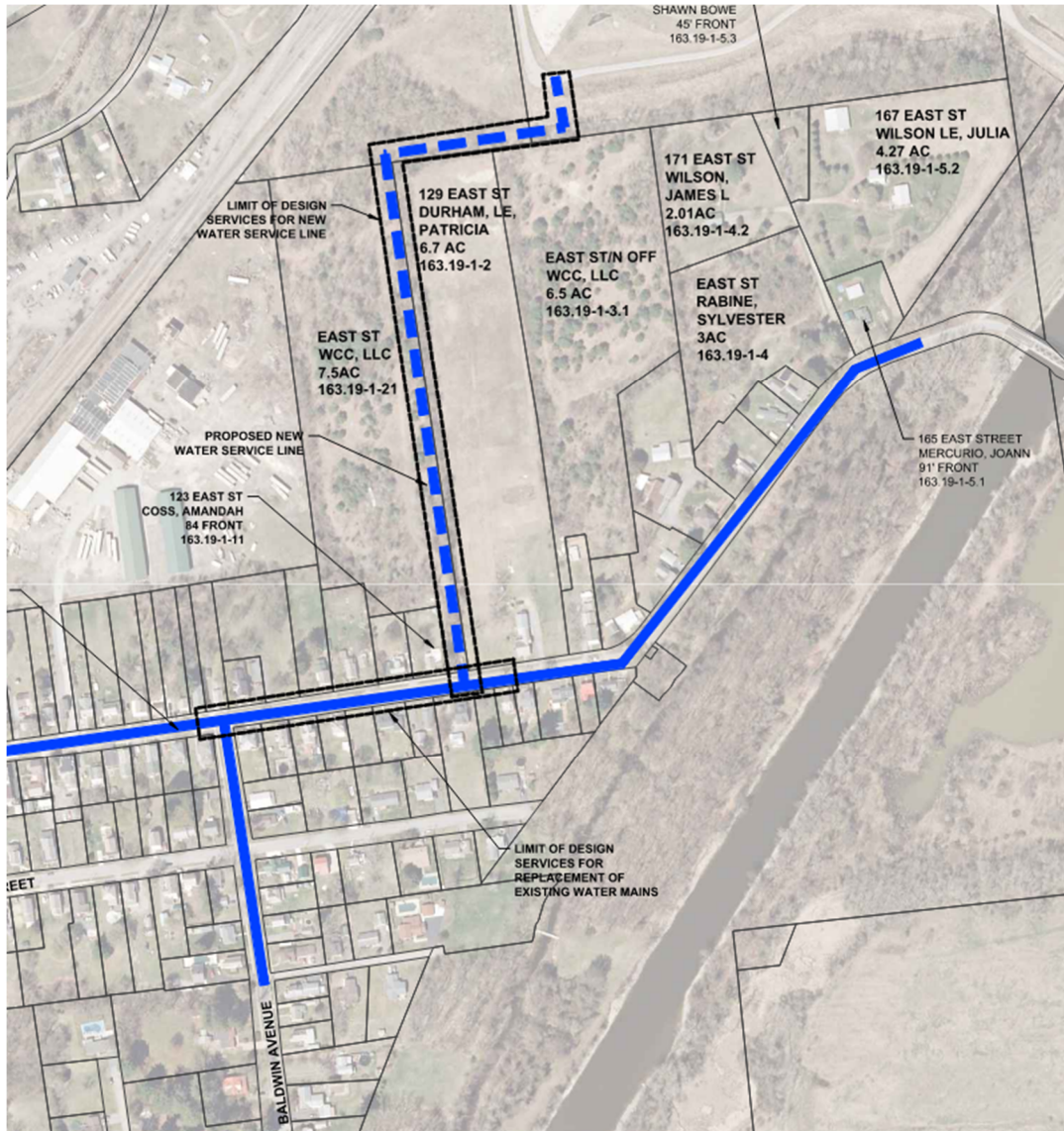
- Village Counsel will assist with the administration of the MPR.

Phase 404 – Detailed Design

This scope was prepared under the assumption that the project will include the replacement of approximately 600 linear feet of water main on East Street from Baldwin Avenue to the current water service, as well as the development of an on-site storage tank. The water main replacement area is depicted on the following sketch:



Figure 5: Water main replacement location



Based upon the location of the parcel, LaBella assumes that a master meter will be located in the southeast corner of the property. and the Ft. Edward Water District can provide the necessary distribution.

Following the Village and WWIDA's chosen alternative, detailed plans and technical specifications will be prepared in support of the design. The plans and specifications set will be suitable for regulatory agency submission. Specifically, the project will be considered a water main extension and therefore review and approval will be required by the NYSDOH.



Detailed Design documents will be provided at the 30%, 60% and 90% completion levels. Each percentage complete stage will include a submission to the client for review, a five (5) calendar day review period and provisions for a review meeting at the conclusion of each review period. Any comments developed during each review period will be incorporated into the next percentage complete submission.

Each percentage complete stage will build on the previous and will include Detailed Design Drawings, Technical Specifications, and an Engineer's Opinion of Probable Construction Costs.

Deliverables:

- Deliverables for each of the percentage complete stages will include the following:
 - Four (4) sets of full-sized (22" x 34") Detailed Design Drawings, unbound
 - Four (4) sets of half-sized (11" x 17") Detailed Design Drawings, unbound
 - Four (4) sets of Front-End Documents and Technical Specifications, unbound
 - One (1) electronic copy in .PDF format of the Detailed Design Drawings and Technical Specifications
- The Detailed Design Drawings are anticipated to include:
 - Title Sheet
 - Abbreviation Sheet
 - General Notes
 - Survey Control Plan
 - Water Main Plan and Profile Sheets (6)
 - Mast Meter Plan, Elevations and Details
 - Dimensional Site Plan
 - Grading, Drainage, Erosion and Sediment Control Plan
 - Tank Sections and Details (2)
 - Typical and Discipline Details (6)
- The Technical Specifications are anticipated to include:
 - Section 03 11 13 Concrete Forming



- Section 03 15 13 Waterstops
- Section 03 30 00 Cast-In-Place Concrete
- Section 22 1 2 00 Facility Potable-Water Storage Tanks
- Section 26 05 00 Common work Results for Electrical
- Section 26 06 00 Schedules for Electrical
- Section 26 08 00 Commissioning of Electrical Systems
- Section 26 50 00 Lighting
- Section 31 00 00 Earthwork
- Section 31 22 00 Grading
- Section 31 23 00 Excavation and Fill
- Section 33 05 04 Selective Demolition for Utilities
- Section 33 05 05.31 Hydrostatic Testing
- Section 33 05 19 Ductile Iron Utility Piping
- Section 33 05 31.19 Fusible Polyvinyl Chloride Pipe
- The final deliverable will be construction plans, details, and technical specifications that have been prepared in accordance with the standards of the NYSDOH.
- LaBella will submit the BODR, Detailed Design Drawings and Technical Specifications for the water storage and conveyance to the NYSDOH for review and approval.

Assumptions and Limitations

- The documents will be developed in standard LaBella designated title block drawing format and will be provided in both hard copy and digital format. All digital files will be provided in .PDF format. The development of the technical specifications will meet the specific needs of the project and will be based on the CSI MF layout.
- The proposal does not include services for negotiations with private/County/State landowners nor does it include legal and administrative services for acquiring land or easements.
- This scope does not include the preparation of front-end specifications (Division 00 and 01) nor does it include bid and construction phase services. It is our



understanding that the client will proceed with these services once additional funding has been secured, and under a separate project scope.

500 SERIES – SEPARATION PROJECT COORDINATION

Phase 501 – Coordination with WCSD and DEC

Once grant funding for the WCSD sponsored separation project at Main and Feeder Streets is confirmed, LaBella will extract relevant information about the design and previously completed flow monitoring from the EDP Design Report. LaBella will use this information to prepare documentation of the separation project suitable for presentation to DEC as it relates to the Canalside Project.

Assumptions/Limitations

- This scope does not include design work related to the separation project, as it is our understanding this will be performed by a WCSD consultant.
- This scope includes up to two meetings with DEC.

600 SERIES – ENVIRONMENTAL PERMITTING

Phase 601 – Environmental Permitting

Once a design is developed that is ready to be advanced to permitting, LaBella will prepare a joint wetland permit application for aquatic resource impacts associated with installing a sewer and/or water line below a wetland using open trench construction methods. The Joint Permit Application (JPA) will be for the following wetland permits:

- Corps Nationwide Permit (NWP 58 for utility line activities for water and other substances)
- NYSDEC Section 401 Water Quality Certificate
- Potentially NYSDEC Stream Disturbance Permit
- Potential Use of NYS Canal Corp Lands

The permit application will discuss background information, existing site conditions, the proposed project, and compliance with federal, state, and local permitting standards. It will



contain an alternatives analysis demonstrating that the project has avoided, minimized and mitigated impacts to aquatic resources to the maximum extent practicable. It will provide information on compliance with other associated federal laws (cultural resources, endangered species). The draft application will be provided to the Client for review and comment. The fee for this task assumes one round of comments on the JPA. Once the application is finalized, one paper copy and one digital copy of the report will be provided to the Client.

Assumptions/Limitations

- It is assumed that Under the Uniform Procedures Act, the NYSDEC cannot find a permit application complete until the State Historic Preservation Office (SHPO) has issued a Determination of Effect for cultural resources and until the Lead Agency under SEQRA has either issued a negative declaration for the project or accepted a Draft EIS for public comment and review. Similarly, the USACE cannot issue a permit until the Cultural Resource Determination of No Effect is issued.

Phase 602 - Regulatory Agency Inspection / Verification

LaBella biologists will attend one field inspection by each of the two regulatory agencies (USACE and NYSDEC). LaBella biologists will respond to one round of modifications as dictated by the agencies following the field inspections. Any additional modifications requested by the agencies will be addressed as an additional service. LaBella will provide revised wetland delineation report and/or maps to the regulatory agencies and to the client.

Phase 603 - Response to Regulatory Comments and Negotiations

LaBella staff will respond to regulatory agency comments on the JPA. LaBella will coordinate, prepare for, attend, participate, and represent the Client as necessary for required agency negotiations concerning the project. These services will be billed on an hourly basis in accordance with LaBella's Schedule of Fees, attached.



SERIES 700 – GENERAL PROJECT COORDINATION

Phase 701 - Project Management, Meetings, and Conferences

We will coordinate, prepare for, attend, participate in and represent the Client at necessary meetings and conferences relevant to the project. When deemed necessary, meeting minutes/notes will be prepared and distributed to key team members for their records. Under this task we will also prepare and maintain the project schedule and prepare power point presentations to facilitate discussions.

These services will be billed on an hourly basis in accordance with our Schedule of Fees, attached. This Phase will include but may not be limited to the following:

- Project management
- Project Coordination/Team Meetings
- SEQRA Public Hearing(s)
- Communications with Owner, Client and/or Client consultants
- Miscellaneous meetings and conferences, including municipal Planning Board meetings, etc.

The exact number of meetings cannot be quantified at this time. Should we begin to approach the estimated budget we will notify you that the budget needs to be adjusted.

Fees and Anticipated Schedule

LaBella proposes to bill each task as indicated in the following table. Invoices will be issued monthly for all services performed during that month and are payable upon receipt.

Phases labeled as Group “A” are subject to immediate authorization under this change order. Phases labeled as Group “B” may be subject to change as a result of work on previous phases or other external factors, and will require a separate written authorization. They are presented within this TSCO to provide a complete project outlook.



Phase No.	Phase Description	Group	Fees		
			Lump Sum (1)	Time and Materials Estimate (2)	Sub-Consultant (3)
	100 SERIES - COORDINATION AND SEQRA				
101	Coordination with NYS Canal Corporation	A		\$10,000	
102	SEQRA Process Support	A		\$6,500	
103	Electric, Natural Gas, and Telecommunications Evaluations	A		\$6,000	
	200 SERIES - FIELD INVESTIGATIONS				
201	Cultural Resources Investigation	A		\$1,500	\$25,100
202	Aquatic Resource and Ecological Desktop and Field Preliminary Review	A		\$3,400	
203	Aquatic Resources Delineation and Report	A		\$5,100	
204	Geotechnical Services	A		\$12,500	\$13,900
205	Aerial Topographic Survey	A		\$9,700	
206	Partial Boundary Survey and Topographic Field Edits	A		\$38,000	
207	Subsurface Utility Designating and Survey	A		\$17,500	
208	Corridor Assessment - ASTM E1528-22 Transaction Screen	A		\$2,600	
	300 SERIES - WASTEWATER CONVEYANCE DESIGN				
301	Basis of Design Report	A		\$32,000	
302	Preliminary Design and Map, Plan, and Report	B		\$18,000	
303	Detailed Design	B		\$90,000	
	400 SERIES - WATER CONVEYANCE DESIGN				
401	Basis of Design Report	A		\$32,000	
402	Water Model Updates	A		\$8,000	
403	Preliminary Design and Map, Plan, and Report	B		\$18,000	
404	Detailed Design	B		\$40,000	
	500 SERIES - SEPARATION PROJECT COORDINATION				
501	Coordination with WCSO and DEC	B		\$4,800	
	600 SERIES - ENVIRONMENTAL PERMITTING				
601	Environmental Permitting	A		\$19,400	
602	Regulatory Agency Inspection / Verification	A		\$5,400	



Phase No.	Phase Description	Group	Fees		
			Lump Sum (1)	Time and Materials Estimate (2)	Sub-Consultant (3)
603	Response to Regulatory Comments and Negotiations	A		\$5,800	
	700 SERIES - GENERAL PROJECT COORDINATION				
701	Project Management, Meetings, and Conferences	A		\$35,000	
			-----	-----	-----
	SUBTOTALS THIS TSCO - GROUP A		\$0	\$250,400	\$39,000
	SUBTOTALS THIS TSCO - GROUP B		\$0	\$170,800	\$0
	PREVIOUSLY AUTHORIZED FEES		\$61,500		\$38,435
	PHASE 06 FEE ADJUSTMENT		(\$5,617)		
	TOTAL PROJECT FEES		\$55,883	\$421,200	\$77,435
	OVERALL PROJECT TOTAL		\$554,518		

- (1) Lump Sum tasks will be billed commensurately with the percentage of the task which has been completed.
- (2) Time and Materials fees are estimates only. LaBella will bill for actual hours worked and will make its best effort to complete each of these tasks within the estimated amounts, although it is possible that it will be necessary to exceed these amounts to complete the scope of services for each task. LaBella will not exceed any estimated fee amounts without written authorization from you.
- (3) The sub-consultant fees shown include a 15% markup to cover LaBella's administrative efforts/costs.

The anticipated schedule for each Phase is presented on the Project Schedule attached to this proposal.

If you find this TSCO acceptable, please sign and date below. This will serve as our authorization to proceed.



Please feel free to contact me at 518-824-1943 if you have any questions or require clarification of the proposed scope of services. We would be glad to meet with you to further discuss our approach if you desire.

LaBella Associates

Paul Guillet, PE
Senior Civil Engineer

Chris Round, AICP
Vice President of Planning

Attachments:
Project Schedule

WWIDA Authorization for "Group A" Phases

Signature:

Printed Name: DAVID O'BRIEN

Date: 1/20/23

Phase No.	Phase Title	2023								
		Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
208	Corridor Assessment - ASTM E1528-22 Transaction Screen	----->								
300 SERIES: WASTEWATER CONVEYANCE DESIGN										
301	Basis of Design Report	----->								
302	Preliminary Design and Map, Plan, and Report	----->								
303	Detailed Design	----->								
400 SERIES: WATER SYSTEM DESIGN										
401	Basis of Design Report	-----> ----->								
402	Water Model Updates	----->								
403	Preliminary Design and Map, Plan, and Report	----->								
404	Detailed Design	----->								
500 SERIES: SEPARATION PROJECT COORDINATION										
501	Coordination with WCSD and DEC	----->								
600 SERIES: PERMITTING										
601	Environmental Permitting	----->								
602	Regulatory Agency Inspection / Verification	----->								
603	Response to Regulatory Comments and Negotiations	----->								
700 SERIES: GENERAL PROJECT COORDINATION										
701	Project Management, Meetings, and Conferences	----->								

Notes:

1. Projected start and end dates are subject to change and are based on date from authorization to proceed. Because certain aspects of the project are outside of LaBella's control (e.g., review agency schedules, actions, and approvals), LaBella cannot guarantee completion of the project within these proposed schedules.
2. Scheduling of field investigations is weather dependent.